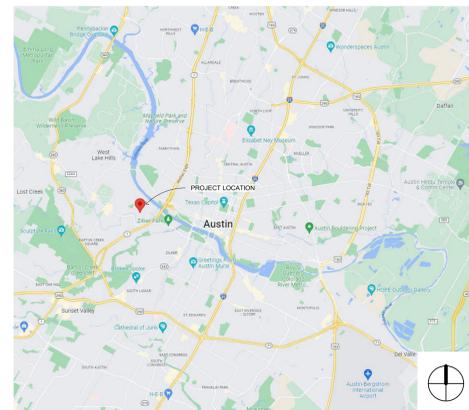


VICINITY MAP



ABBREVIATIONS

AF	ABOVE FINISH FLOOR	RO	ROUGH OPENING
CL	CENTERLINE	RF	REFRIGERATOR / FREEZER
CAB	CABINET	REF	REFERENCE OR REFRIGERATOR
CLD	CELING	RA	RETURN AIR
CLO	CLOSET	ROTR	REGISTER
CONC	CONCRETE	RM	ROOM
CBRT	CABINET	SHWR	SHOWER
DF	DOUGLASS FIR	SMALR	SMALLER
DSL	DOWNSTREAM	SPEC	SPECIFICATION
DSL	DOWNSTREAM	SPED	SPEED
DM	DIMENSION	STR	STRUTTING
DM	DIMENSION	TAG	TONGUE AND GROOVE
DM	DIMENSION	TREAD	TREAD
DW	DRAWING	TB	TOWEL BAR
DWC	DRAWING	TDB	TOP OF BEAM
DWR	DRAWER	TOC	TOP OF CONCRETE
ESG	EXISTING	TOW	TOP OF WINDOW
FIE	FINISH FLOOR ELEVATION	TOW	TOP OF WALL
GC	GENERAL CONTRACTOR	UNO	UNLESS NOTED OTHERWISE
GC	GENERAL CONTRACTOR	UNT	UNLESS NOTED OTHERWISE
GR	GRASS	VER	VERIFY FIELD
HTB	HEATED TOWEL BAR	VWB	VERIFY WITH BUILDER
HTB	HEATED TOWEL BAR	VWT	VERIFY WITH DESIGN TEAM
HTB	HEATED TOWEL BAR	VWE	VERIFY WITH STRUCTURAL ENGINEER
LN	LINEN CLOSET	VWD	VERIFY WITH DESIGNER
MC	MEDIA CABINET	VWLA	VERIFY WITH LANDSCAPE ARCHITECT
MCH	MECHANICAL	VWME	VERIFY WITH MECHANICAL ENGINEER
MC	MEDIA CABINET	VWV	VERIFY WITH OWNER
NC	NOT IN CONTRACT	WC	WATER CLOSET
Q	QUARRY BLOCK	WD	WASHER DRYER
QB	QUIBB OR KALBUR		

GENERAL NOTES

- SITE PLAN**
- REFER TO GEOTECHNICAL REPORT FOR INFORMATION REGARDING SITE PREPARATION AND FOUNDATION STRUCTURAL RECOMMENDATIONS. RECOMMENDATIONS IN GEOTECHNICAL REPORT SHALL BE FOLLOWED BY THE GENERAL CONTRACTOR AND SUB-CONTRACTORS.
 - FIELD VERIFY LOCATION OF BUILDINGS WITH DESIGN TEAM AND OWNER PRIOR TO CONSTRUCTION. A LICENSED SURVEYOR SHALL LOCATE THE CORNERS OF THE BUILDING ON SITE.
 - GRADE SITE TO PROVIDE POSITIVE DRAINAGE AWAY FROM ENTIRE BUILDING PERIMETER. ESTABLISH THE APPROPRIATE DRAINAGE EARLY IN THE PROJECT AND MAINTAIN THROUGHOUT CONSTRUCTION. REFER TO GRADING PLAN AND LANDSCAPE PLAN (IF AVAILABLE) FOR OTHER GRADING INFORMATION.
 - DOWNHOURS SHALL BE CONNECTED TO A BELOW GRADE DRAINAGE SYSTEM COMPOSED OF 8" DIAMETER, SCHEDULE 40 PVC BRANLINES TO RUN ADJACENT TO THE BUILDING FOUNDATION AT A SLOPE OF NO LESS THAN 1/8" PER FOOT. PROVIDE CLEANOUTS AS REQUIRED. VERIFY WITH BUILDER.
 - PROVIDE AND MAINTAIN SILT FENCE PER CODE. REFER TO EROSION CONTROL DIAGRAMS IF REQUIRED BY LOCAL JURISDICTION.
 - PRIOR TO CONSTRUCTION, THE GENERAL CONTRACTOR SHALL VERIFY EXTENT OF UTILITY WORK WITH OWNER AND DESIGN TEAM. GC SHALL LOCATE EXISTING GAS AND WATER METERS AND SHALL DETERMINE WHETHER REPAIR OR REPLACEMENT IS REQUIRED. GC SHALL VERIFY LOCATION OF ELECTRICAL, CABLE, TELEVISION AND TELEPHONE CONNECTIONS, AND WILL HELP DETERMINE ON SITE THE MOST APPROPRIATE ROUTE FOR EITHER UNDERGROUND OR OVERHEAD CONNECTIONS. GC SHALL VERIFY LOCATION AND CONDITION OF EXISTING SEWER LINES AND CLEANOUTS.
 - AT STAKE OUT, BEFORE PROCEEDING WITH OTHER WORK OR ORDERING MATERIALS, THE CONTRACTOR AND/OR SUB-CONTRACTORS SHALL VERIFY PLAN DIMENSIONS AND MEASUREMENTS, LOCATIONS OF ALL LOT LINES, SUBMENTS, BUILDING SETBACK LINES, AND SIDE AND REAR YARD REQUIREMENTS AND SHALL BE RESPONSIBLE FOR THE CORRECT AND APPROPRIATE LOCATION AND RELATIONSHIP OF THESE LINES TO WHAT WILL BE CONSTRUCTED.

FLOOR PLANS

- INTERIOR AND EXTERIOR WALL FRAMING SHALL BE 2X6'S, UNO.
- LOCATE HOSE BIBBS APPROXIMATELY 24" ABOVE FINISHED GRADE. PROVIDE FROST PROOF HOSE BIBBS.
- HEIGHTS INDICATED ON PLANS ARE RELATIVE TO FINISH FLOOR AND NOT TO TOP OF FOUNDATION OR DECK (EXCEPT WHERE FOUNDATION IS EXPOSED).
- WALLS THAT ARE NOT HATCHED DO NOT EXTEND TO CEILING.
- SHOWER HEADS SHALL BE MOUNTED AT 7'-0" U.N.O. REFER TO INTERIOR ELEVATIONS FOR BALANCE OF INFORMATION.
- DIMENSIONS ARE TO FACE OF STUD OR TO CENTERLINE OF COLUMNS, DOORS AND WINDOWS.
- INSTALL TEMPERED GLASS WHERE REQUIRED BY IRC CODE, EVEN IF NOT SHOWN ON PLANS.
- ALL HANDRAILS INSTALLED SHALL COMPLY WITH IRC SEC R311.5.6.
- ALL GUARDRAILS INSTALLED SHALL COMPLY WITH IRC SEC R312.1 AND R312.2.
- THOUGH DIMENSIONS ARE REQUIRED TO BE REASONABLY ACCURATE, CAREFUL MEASUREMENTS SHALL BE MADE FROM THE EXISTING STRUCTURE PRIOR TO FABRICATING MATERIALS OR PREPARING WORK WHICH IS TO BE INSTALLED. SOME SURFACES MAY NOT BE PLUMB, LEVEL, OR TRUE. ALERT DESIGN TEAM OF ANY DISCREPANCIES.
- GENERAL CONTRACTOR SHALL COMPARE AND FIELD VERIFY PLAN DIMENSIONS WITH EXISTING CONDITIONS. GC SHALL COORDINATE AND VERIFY ANY FIELD ADJUSTMENTS BASED ON EXISTING CONDITIONS WITH DESIGN TEAM.
- STRUCTURAL, ENGINEERING AND STRUCTURAL DETERMINATIONS SHALL BE PROVIDED BY A LICENSED PROFESSIONAL ENGINEER. THE BUILDING DESIGNER IS NOT RESPONSIBLE FOR STRUCTURAL ENGINEERING.
- THESE DRAWINGS MAY NOT ADDRESS ALL OF THE REQUIREMENTS IN THE BUILDING CODES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO KNOW THE CODES WHICH HAVE AUTHORITY OVER THIS PROJECT. CONSTRUCTION MUST COMPLY WITH THESE CODES. THE CONTRACTOR MUST FOLLOW THE BUILDING AND PERFORMANCE STANDARDS THAT HAVE AUTHORITY OVER THIS PROJECT WHICH ARE PROTECTED BY THE DECEPTIVE TRADE PRACTICES ACT OF TEXAS, THE RESIDENTIAL CONSTRUCTION LIABILITY ACT OF TEXAS, OR ANY SUCCESSOR.
- DO NOT SCALE THESE DRAWINGS. IN THE EVENT OF ERROR OR OMISSION, CONTACT THE GENERAL CONTRACTOR FOR CLARIFICATION.
- SPECIFICATIONS ARE INCLUDED IN THESE PLANS. IF NOT, CONTACT THE GENERAL CONTRACTOR. IN THE EVENT OF A DISCREPANCY BETWEEN THE SPECS AND THE PLANS, THE SPECS SHALL OVERRULE THE PLANS.
- ALL SUB-CONTRACTORS SHALL VERIFY WITH GENERAL CONTRACTOR THAT NO CHANGE ORDER OR ADDENDUM HAVE BEEN ISSUED THAT MAY MODIFY THE SCOPE OF WORK ON THESE PLANS.
- IF NOT SHOWN ON PLANS, ALL UPPER CABINETS SHALL BE 1" DEEP.
- IF NOT DIMENSIONED ON THE FLOOR PLANS, ALL DOORS ARE TO BE LOCATED 6" FROM ADJACENT FRAMING WALL.

ROOF PLANS

- DIMENSIONS ON PLANS ARE FROM OUTSIDE FACE OF FRAMING UNLESS NOTED OTHERWISE.
- LOCATE ALL PLUMBING & EXHAUST CAPS IN NEAREST ROOF PLANE OUT OF VIEW FROM STREET, COURTYARDS OR REAR YARD WHEREVER POSSIBLE.
- EXPOSED METAL PLUMBING & EXHAUST VENTS SHALL BE INSTALLED WITH CAP AS CLOSE TO ROOF PLANE AS POSSIBLE. EXPOSED METAL ROOF VENTS SHALL BE PAINTED TO MATCH ROOF.
- PLUMBING VENTS SHALL HAVE AS LOW A PROFILE AS POSSIBLE AND BE AT THE REAR OF THE HOUSE OR LEAST VISIBLE LOCATION.
- DOWNSPOUTS REACHING GRADE OR FOUNDATION SHALL TIE INTO A SUBGRADE DRAINAGE SYSTEM. PROVIDE SLEEVES IN FOUNDATION AS NEEDED.
- UNDERLAYMENT: SEE SPECIFICATIONS.
- PROVIDE 3/4" PLYWOOD IN ATTIC FOR HVAC UNIT(S). IF IN ATTIC, PROVIDE ADDITIONAL 3/4" PLYWOOD IN AREAS SPECIFIED BY OWNER. VERIFY WITH OWNER AND STRUCTURAL ENGINEER (IF HEAVY STORAGE NEEDS ARE REQUIRED).

HVAC

- HVAC ZONES & UNITS:
- HVAC 'X' - FIRST FLOOR - MASTER SUITE
 - HVAC 'Y' - FIRST FLOOR - MAIN LIVING AREAS
 - HVAC 'C' - FIRST FLOOR - GUEST COTTAGE
 - HVAC 'D' - SECOND FLOOR

ELECTRICAL

- OUTLETS SHALL BE PLACED HORIZONTALLY CENTERED IN BASEBOARD WHEN POSSIBLE, OTHERWISE OUTLETS SHALL BE PLACED VERTICALLY, 12" TO CENTERLINE, AFF.
- ALL LIGHT SWITCHES ARE TO BE ROCKER SWITCHES AND SHALL BE LOCATED 52" AFF TO CENTER OF DEVICE UNO. VERIFY WITH OWNER PRIOR TO WIRING.
- ALL LIGHTING CONTROL / WHOLE HOUSE CONTROL TOUCH SCREENS OR KEYPADS SHALL BE LOCATED 52" AFF TO CENTER OF DEVICE UNO. VERIFY WITH OWNER PRIOR TO WIRING.
- DIMENSIONS ON ELECTRICAL AND LIGHTING PLANS ARE DRAWN TO CENTER LINE OF DEVICE OR FIXTURE
- INTERIOR WET AREA OUTLETS SHALL BE GFI PRO CODE.
- ABOVE COUNTER OUTLETS SHALL BE LOCATED HORIZONTALLY. SEE ELECTRICAL PLAN FOR HEIGHTS.
- EXTERIOR OUTLETS AND FIXTURES SHALL BE WATERPROOF PER CODE.
- APPLIANCES, ELECTRICAL EQUIPMENT AND FIXTURES SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.
- THERMOSTATS INSTALLED ABOVE LIGHT SWITCHES SHALL BE CENTERED ON EACH OTHER.
- STACK SWITCHES IN AREAS WHERE NUMBER OF SWITCHES IS MORE THAN 4, DEVICES SHALL BE CENTERED ON EACH OTHER.
- PROVIDE LIGHT FIXTURES AND SWITCHES IN ATTIC AT SCUTLERS AND/OR PULL DOWN STAIRS AS NEEDED AND REQUIRED.
- SMOKE DETECTOR SYSTEM SHALL BE HARDWIRED, INTERCONNECTED, BATTERY BACKUP, AT EACH SLEEPING ROOM AND VICINITY, IF APPLICABLE AS WELL AS ON EACH ADDITIONAL STORY WITHIN THE DWELLING UNIT INCLUDING IN BASEMENTS. IN ACCORDANCE WITH IRC SEC R313.
- LOCATE SMOKE DETECTORS IN ACCORDANCE WITH CODE AND INSTALL PER MANUFACTURER'S INSTRUCTIONS.
- ELECTRICAL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH APPLICABLE CODES AND ORDINANCES.
- VERIFY SWITCH, OUTLET, COVER STYLE AND COLOR WITH OWNER AND INTERIOR DESIGNER. ALL FACED LATES SHALL BE SCREWLESS.
- PREWIRE FOR SECURITY SYSTEM.
- PREWIRE FOR SPEAKERS. REFER TO DRAWINGS BY AUDIO VISUAL CONSULTANT (IF AVAILABLE).
- FIELD VERIFY LOCATIONS OF RECESSED CANS, PENDANTS AND SURFACE MOUNTED LIGHT FIXTURES WITH OWNER AND DESIGN TEAM PRIOR TO PULLING WIRE.

INDEX OF SHEETS

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A-0.3	PRODUCT SPECS & CODES
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A-2.1	FIRST FLOOR NOTES PLAN
A-2.2	SECOND FLOOR NOTES PLAN
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A-7.4	SECOND FLOOR POWER PLAN

STRUCTURAL

T.B.D.

REVISIONS

NO.	DESCRIPTION
1	SURVEY 1" = 40'-0"

PROJECT DIRECTORY

OWNER
BROCK & JEFF EPELL
4700 TARBELINE DRIVE
AUSTIN, TX 78746

INTERIOR DESIGNER

PROOF CELL
1512 940-0399

GENERAL CONTRACTOR

T.B.D.

STRUCTURAL

T.B.D.

SURVEYOR

BOWMAN CONSULTING INC.
1404 W LOOP BLVD
AUSTIN, TX 78746
P. 512.456.7009

GEOTECHNICAL

T.B.D.

SEPTIC DESIGN

T.B.D.

PROJECT DATA

NO. 101

PROJECT ADDRESS

NO. 101

PROJECT CITY

CITY OF ROLLINGWOOD

CONSTRUCTION

TYPE: V-B

VISIBILITY

NA

MUNICIPAL ORDINANCE

NA

INTERVIEWS COVER

NA

BUILDING COVERAGE

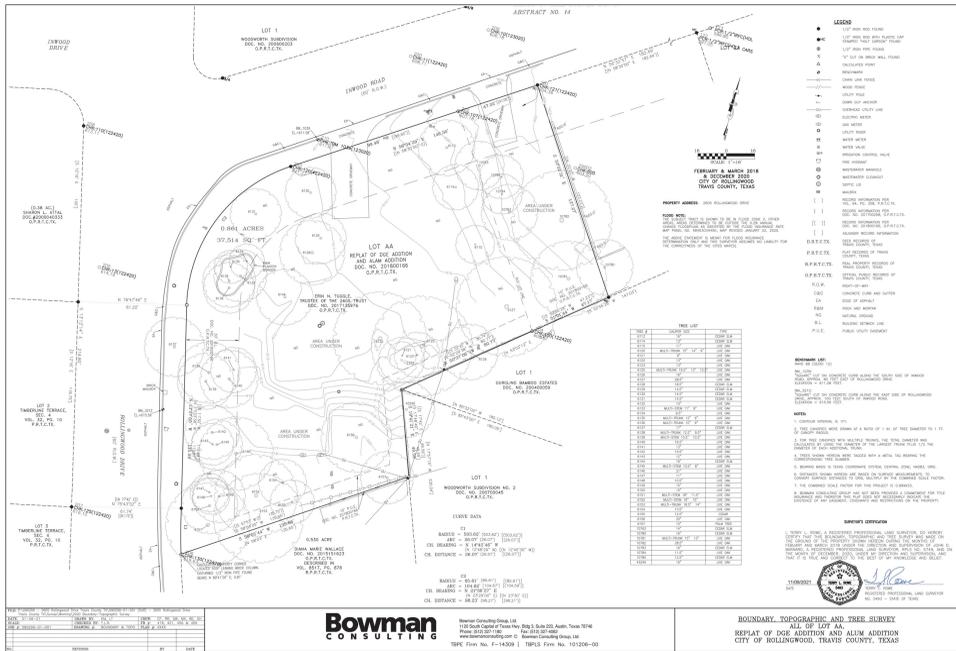
NA

FIRE SUPPRESSION

IF REQUIRED: LOCAL FIRE DEPARTMENT A FULL RESIDENTIAL SPRINKLER SYSTEM DESIGNED, INSTALLED, AND TESTED IN ACCORDANCE WITH THE 2018 IBC (IF APPLICABLE) OR THE 2018 IBC (IF APPLICABLE) FOR THE SPRINKLER SYSTEM MUST BE DESIGNED AND INSTALLED BY A TEXAS LICENSED SPRINKLER CONTRACTOR FOR NFPA 13D SYSTEMS OR A TEXAS LICENSED PLUMBER WITH THE MULTIPURPOSE RESIDENTIAL FIRE PROTECTION SPECIALIST IMPRESS ENCLOSURE. THE SPRINKLER PLANS MUST BE SUBMITTED, REVIEWED, APPROVED, TESTED, AND INSPECTED BY AFD PRIOR TO COVERING THE WALLS AND CEILING. A FLOW TEST OF THE MOST DRAINING AREA WILL BE REQUIRED.

SYMBOL LEGEND

ELEVATION SYMBOL	
SECTION SYMBOL	
INTERIOR ELEVATION SYMBOL	
REVISION NUMBER SYMBOL	
DOOR SYMBOL	
WINDOW SYMBOL	
NORTH ARROW SYMBOL	
GRID LINE SYMBOL	
DRAWING TITLE SYMBOL	
ROOF SLOPE SYMBOL	
ROOF SLOPE SYMBOL	
FLOOR DROP SYMBOL	
DETAIL SYMBOL	



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JOHN WEST STODDARD
www.jwestdard.com
P. 512.987.4271

Project Number : 2021.17
Project Status : DD

Inwood Residence
407 Inwood Road, Rollingwood, TX 78746
Issue Date : TBD

DRAWN BY: JWS
CHECKED BY: JWS
DATE:
PERMIT:

GENERAL NOTES

A-0.1

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BUILDING AREA	
CONDITIONED AREA:	
MAIN LEVEL	4,839 SQ. FT.
SECOND LEVEL	1,528 SQ. FT.
POOL CABANA	584 SQ. FT.
TOTAL CONDITIONED	6,951 SQ. FT.
NON-CONDITIONED AREAS:	
COVERED PORCHES	1,432 SQ. FT.
GARAGE	1,322 SQ. FT.
STORAGE	135 SQ. FT.
BRICK LEDGE	185 SQ. FT.
TOTAL NON-CONDITIONED	3,074 SQ. FT.
TOTAL COVERED AREA	10,025 SQ. FT.
NOTE: CONDITIONED AREA IS CALCULATED TO THE OUTSIDE OF FRAMING.	
IMPERVIOUS COVER	
SITE AREA	xx,xxx SQ. FT.
ALLOWABLE IC (45%)	xx,xxx SQ. FT.
PROPOSED IMPROVEMENTS:	
HOUSE & PORCHES	xxx SQ. FT.
DRIVEWAY	xxx SQ. FT.
SIDEWALKS	xxx SQ. FT.
AC PADS & POOL EQUIP	xxx SQ. FT.
POOL COPING & RETAINING WALLS	xxx SQ. FT.
TOTAL PROPOSED IC:	xx,xxx SQ. FT. (xx.xx%)

SITE LEGEND	
CONSTRUCTION DUMPSTER	D
CHEMICAL TOILET	T
MATERIALS STAGING AREA	S
TREE PROTECTION FENCE	TP
SILT FENCE	E
CONSTRUCTION FENCE	F
GAS	G
SEWER	SS
WATER	W
TELEPHONE	T
ELECTRICAL	E
WASTE WATER	WW
HVAC EQUIPMENT	H
POOL EQUIPMENT	P
EXISTING HOUSE TO BE DEMO'D	---
OVERHEAD POWER LINES	---
CONSTRUCTION ACCESS ROUTE	---

TREES	
TREE LIST	
Txxx	xx' xxx'
TREES TO BE REMOVED	
Txxx	xx' xxx'

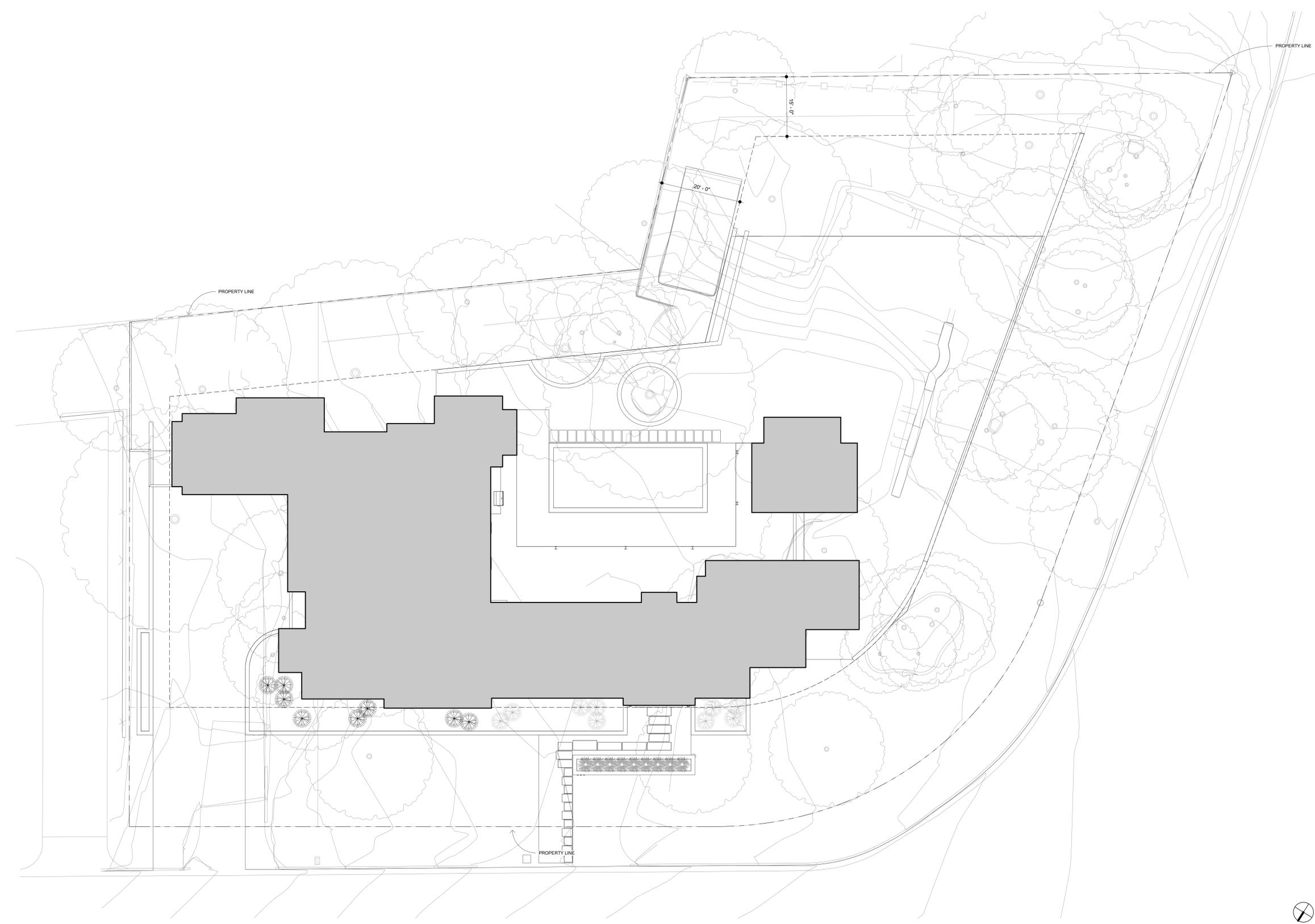
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SITE PLAN

A-0.4

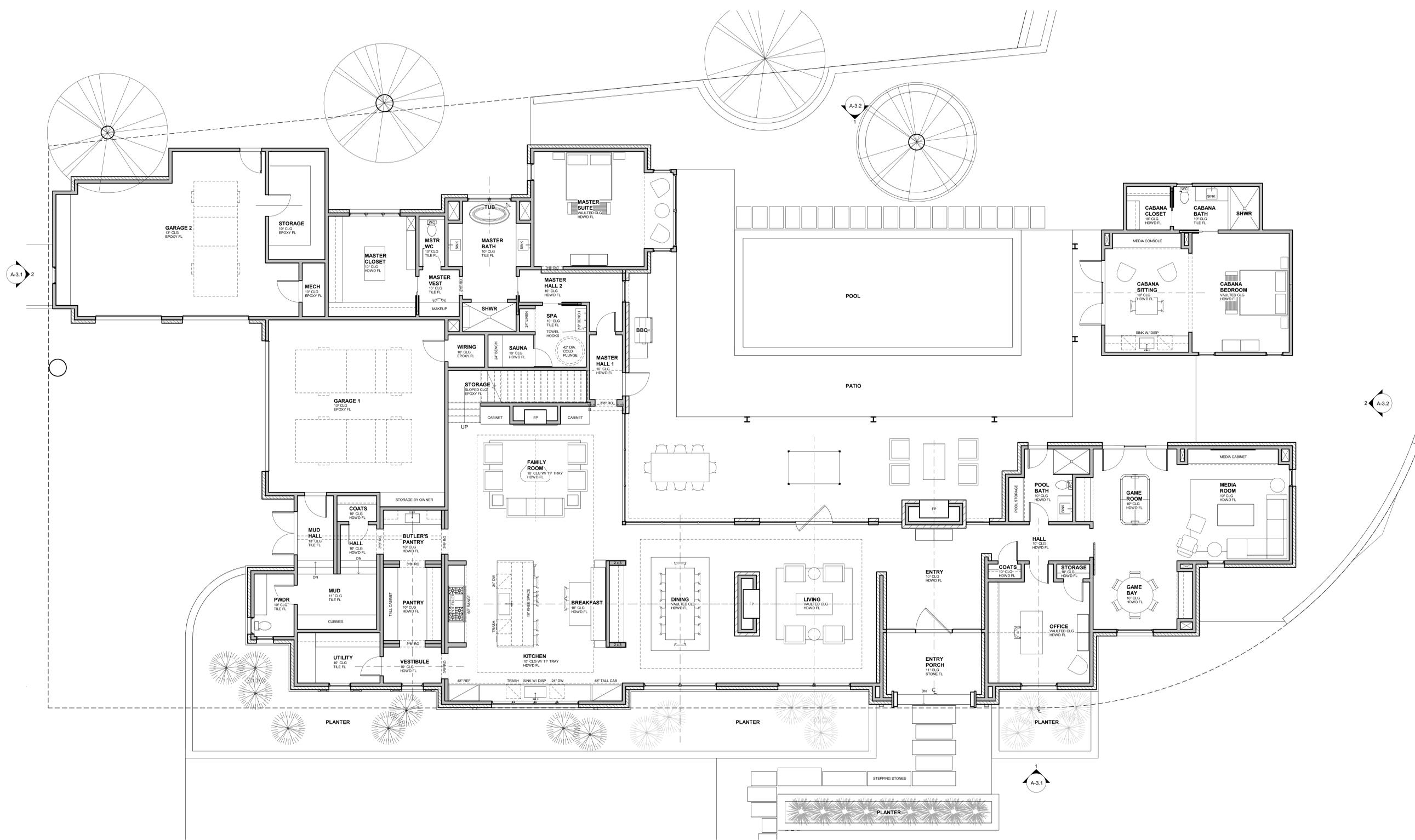


① SITE PLAN
1" = 10'-0"

WALL LEGEND	
2x6 FRAMING WALL	
5.5" MASONRY WALL	
CANTILEVERED AREA	
INT. SOUND INSULATION	

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FIRST FLOOR NOTES PLAN
3/16" = 1'-0"

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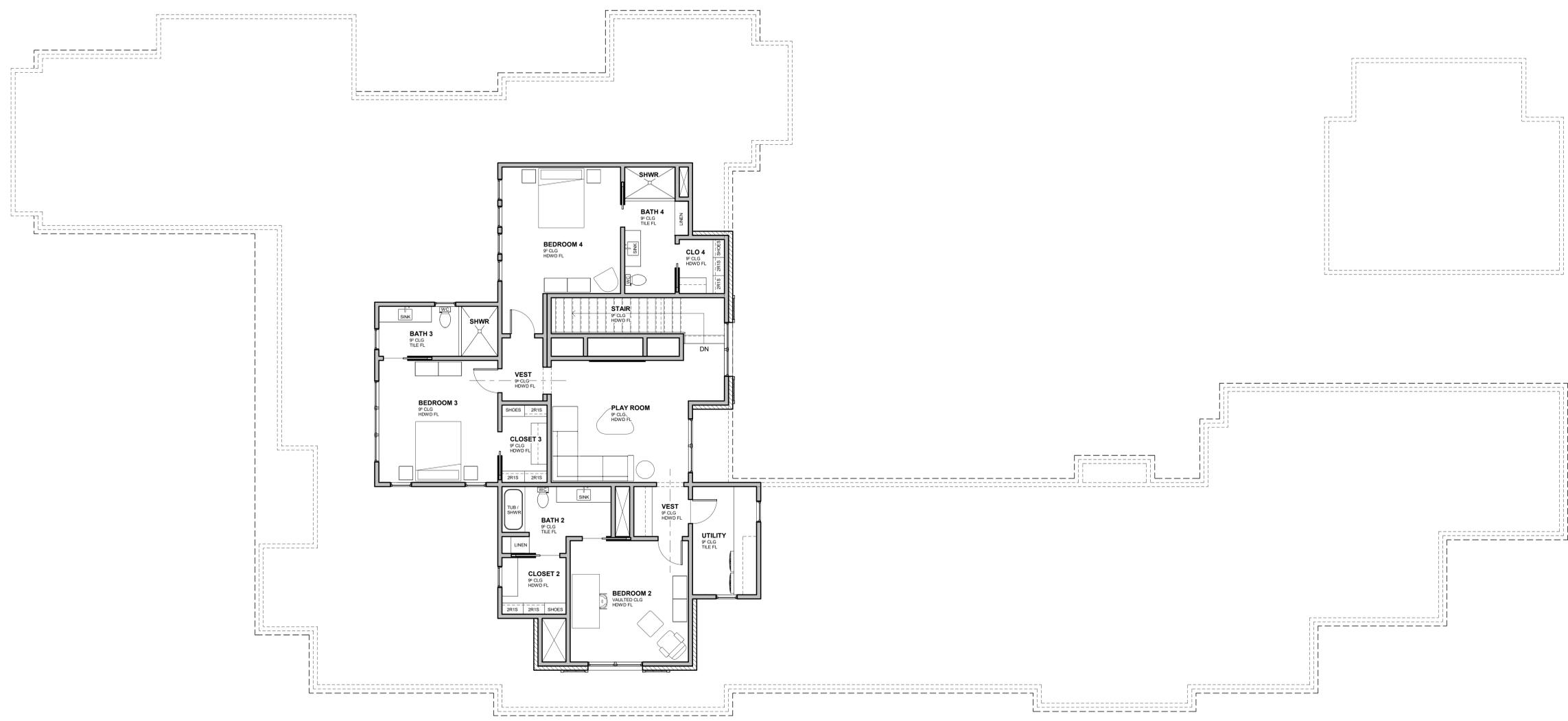
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FIRST FLOOR
NOTES PLAN

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WALL LEGEND

2x6 FRAMING WALL	
5.5" MASONRY WALL	
CANTILEVERED AREA	
INT. SOUND INSULATION	

① SECOND FLOOR NOTES PLAN
3/16" = 1'-0"

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SECOND FLOOR
NOTES PLAN

A-2.2

